



SLEEP WELL HOME INSPECTION SERVICES LLC

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RESIDENTIAL HOME INSPECTION REPORT

1234 Main Street
Waynesville, NC 28785

Buyer Name
06/26/2024 9:00AM



Inspector
Samuel Sentelle

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THANK YOU FOR CHOOSING SLEEP WELL HOME INSPECTIONS SERVICES LLC,

Thank you for choosing us to perform your general Home Inspection and Well Water Testing. We always endeavor to do our best in providing you with the information you need to make an informed purchase decision. Once you have read the report, don't hesitate to contact us with questions about report content or home condition.

Please take a few minutes to read the following:

The SCOPE OF THE INSPECTION

This report is designed to identify safety issues and system and major component defects in the following: roof materials and drainage, exterior, grading and surface drainage, foundation, general structure, attic, general interior, plumbing, electrical, and HVAC.

Non-Destructive

The inspection is non-destructive, and does not include damaging, dismantling, removing, or moving any mechanical components or personal belongings such as rugs and furniture. It is not meant to be technically exhaustive as is a contractor level inspection.

Visual only

The inspection is based on observations of the readily visible condition of the home during the time of the inspection only.

Standards of Practice

This report complies with the Standards of Practice of the North Carolina Home Inspector Licensure Board, NCHILB.

PURCHASE INCLUDES RISK

Having a General Home Inspection performed helps reduce the risk inherent in the purchase of a property. Because it is a *general* inspection, it is also a *limited* inspection and you should be diligent in following the recommendations for repair, correction, further evaluation, etc. as advised in this report. Deficiencies may exist requiring the services of a specialist such as a contractor or structural engineer to confirm. Although we do our best to identify hidden deficiencies according to observed evidence, such evidence is not always apparent without invasive measures.

You should schedule any specialist inspections in time to use the results in your negotiations with the seller. Because time constraints may exist in scheduling, make any necessary appointments as soon as possible after receiving this report. Pay attention to your contingency period (inspection objection) deadline.

Conditions sometimes exist at the time of the inspection that prevent inspection of certain systems or components. These may be environmental (such as weather-related), related to lack of utilities (gas, electricity, or water), or other. We disclaim responsibility for being unable to inspect items for reasons beyond our control or responsibility as explained in our inspection agreement.

A HOME INSPECTION DOES NOT GUARANTEE FUTURE CONDITIONS

A home inspection report describes the condition of the home during the inspection only. It is not a warranty or guarantee of any future conditions. The manufacturer's or contractor's warranties of certain systems or components may or may not be in effect at the time of sale. Some warranties may or may not transfer to you as a new owner. You should ask the seller and your agent about any such warranties. Warranties are also available for purchase. Read the fine print carefully to understand the terms, expiration date, and any other limitations.

IT'S NOT A CODE COMPLIANCE INSPECTION

The purpose of this report is not to identify any building code violations. This report may include descriptions of conditions that are building code violations, but this is simply because the goal of home inspections and building codes are similar: to help ensure that safe conditions exist. However, building code inspection far exceeds the scope of the General Home Inspection, and you should adjust your expectations accordingly.

THIS REPORT REFLECTS OUR OPINION

This report reflects our opinion of the home condition according what was observed by the inspector and according to our experience. Over the years, building practices, along with what has widely been considered safe and acceptable, have changed. Different methods and materials have evolved and been combined in different ways by designers and workmen of various attitudes and abilities.

Some systems alone require years of training to understand at the contractor or engineering level. Home inspectors are trained to recognize deficiencies in a wide range of systems and components commonly found in homes, but part of this training is to understand the limitations of a General Home Inspection and when to recommend a specialist. We encourage you to follow such recommendations.

SUMMARY



MINOR CONCERN



MODERATE CONCERN

MAJOR CONCERN








Disclaimer

This report is limited to identification of certain, easily-identified features and conditions. It is non-invasive, limited to readily visible conditions, is not technical exhaustive, and does not include evaluating risk levels or identifying compliance with any jurisdictional requirements. .

Although the summary contains items of importance, to avoid missing relevant information, please read the entire report!

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- ⊖ 7.8.1 Interior - Windows: Sash: damage, moderate
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- ⊖ 7.15.1 Interior - Basement Bathroom: Bathtub: slow to drain
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- ⊖ 7.15.4 Interior - Basement Bathroom: Sinks: overflows, none installed
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- ⊖ 7.16.3 Interior - Bathroom: Sinks: overflows, none installed
- ⊖ 7.17.1 Interior - Master Bathroom: Bathtub: slow to drain

-  7.17.2 Interior - Master Bathroom: Cabinet: door hinges loose
-  7.17.3 Interior - Master Bathroom: Ceilings: drywall stains, roof leaks, normal moisture
-  7.17.4 Interior - Master Bathroom: Toilet Previous Leak
-  8.2.1 Kitchen - Cabinets: Drawer Hits Refrigerator
-  8.9.1 Kitchen - Range Hood: No hood duct to exterior, fan OK
-  10.4.1 Plumbing - Cleanouts: Broken Cleanout
-  10.5.1 Plumbing - Private Water Well: Water quality Testing

1: INSPECTION DETAILS

Information

Attendees: Portion attended by Client

Latter

Attendees: Portion Attended by Occupant

Latter

Occupancy: State of Occupancy

Vacant

Inspection Conditions:

Approximate Temperature at the Inspection

80s F

Inspection Conditions: Property Elevation

802 Feet

Inspection Conditions: Property-related weather condition

Dry

Inspection Conditions: Weather, 2 days prior to the Inspection

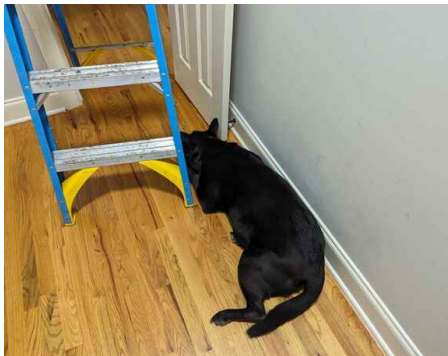
Overcast but dry

Inspection Conditions: Weather at the Inspection

Sunny, Partly cloudy

Animals onsite: Dog: no problem

A dog was present at the property during the inspection, but was not a hindrance to the inspection.



2: ROOF

Information

Inspection Method: Roof inspection method

ladder at roof edge, ground/binoculars

Roof Configuration: Roof Configuration

Shed, Gable and hip

Underlayment: Type of Underlayment

Underlayment Not Visible Not Inspected

General Roof Flashing : Flashing Material

Aluminum

Roof Drainage: Drainage system materials

aluminum

Asphalt Shingles: Substrate

1 layer

Asphalt Shingles: Type of Fastening

Roofing nails

Asphalt Shingles: Type of Shingle

Architectural Shingles

Asphalt Shingles: Type of Valley

woven valley

Roof Configuration: Roof pitch, 6/12

The roof pitch (angle of slope) was approximately Main roof structure is approximately 10/12 while shed roof over front porch is approximately 5/12

Roof Structure Exterior: What's inspected?

Inspection of the roof structure from the exterior typically includes:

- The general roof structure appearance;
- Roof-covering material condition;
- Flashing protecting roof-covering material penetrations, changes in roof-covering materials, and transitions where roof slopes change;
- Condition of combustion, plumbing and attic ventilation vents and devices;
- Chimney conditions; and
- Roof drainage systems and components.

General Roof Flashing : General description *

Flashing is a general term used to describe (typically) sheet metal fabricated into shapes and used to protect areas of the roof from moisture intrusion. Inspection typically includes inspection for condition and proper installation of flashing in the following locations:

- Roof penetrations;
- Junctions at which roofs meet walls;
- Roof edges;
- Areas at which roofs change slope;
- Areas at which roof-covering materials change; and
- Areas at which different roof planes meet (such as valleys).



Kick-out flashing front valley porch side



Kick out flashing garage side of front gable roof blocked by tree limb

Roof Drainage: Gutters & downspouts

Rear Gutter and Above Front Porch Gutter

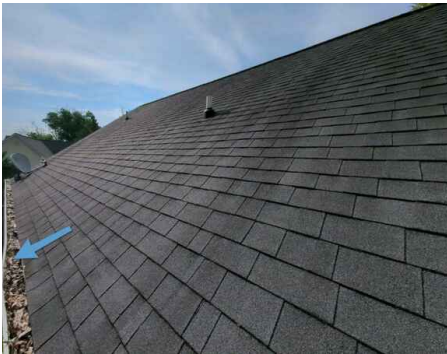
The roof drainage system consisted of conventional gutters hung from the roof edges feeding downspouts. That terminate underground.



Rear Deck Corner



Right corner of house



Roof Drainage: What is inspected?

Inspection of the roof drainage system typically includes examination of any of the following:

- Gutters (condition and configuration);
- Downspouts & extensions (condition and configuration);
- Scuppers; and
- Overflow drains.

Vents on the Roof: Plumbing vents unremarkable

The visible portion of the plumbing vent pipes and roof penetrations were unremarkable at the time of inspection.



Limitations

Inspection Method

DISCLAIMERS: SAFETY, LIMITED INSPECTION

Due to the pitch and height of the roof system the Inspector was unable to safely walk the roof and inspected the roof-covering materials and components from a ladder at the eaves and using binoculars. Not all portions of the roof were visible. Decisions about safety are made solely at the inspector's discretion. If you wish to have a more detailed roof inspection, you should make arrangements to have the roof inspected by a qualified roofing contractor.

Underlayment

DISCLAIMER: UNDERLAYMENT COMPLETELY HIDDEN

The underlayment was hidden beneath the roof-covering material. It was not inspected and the inspection company disclaims responsibility for evaluating its condition or confirming its presence.

Asphalt Shingles

FASTENING: DISCLAIMER

Shingle fastening was not inspected. Because a fully bonded roof is the most important factor in the wind resistance of the shingles, breaking shingle bonds to view fasteners would constitute damage to the roof. Destructive testing lies beyond the scope of the General Home Inspection. No indication of fastener deficiencies was readily visible.

Asphalt Shingles

SHINGLE INSTALLATION DISCLAIMER

Many different types, brands and models of asphalt shingles have been installed over the years, each with specific manufacturer's installation recommendations that may or may not apply to similar-looking shingles. In addition, most shingles have underlayment and fastening requirements that cannot be visually confirmed once the shingles have been installed. For this reason, the inspection company disclaims responsibility for accurate confirmation of proper shingle roof installation.

The Inspector's comments will be based on- and limited to- installation requirements common to many shingle types, brands and models. Accurate confirmation of proper installation requires research that exceeds the scope of the General Home Inspection, and will require the services of a qualified roofing contractor.

Deficiencies

2.6.1 Roof Drainage

 Moderate Concern

DOWNSPOUTS: BLOCKAGE

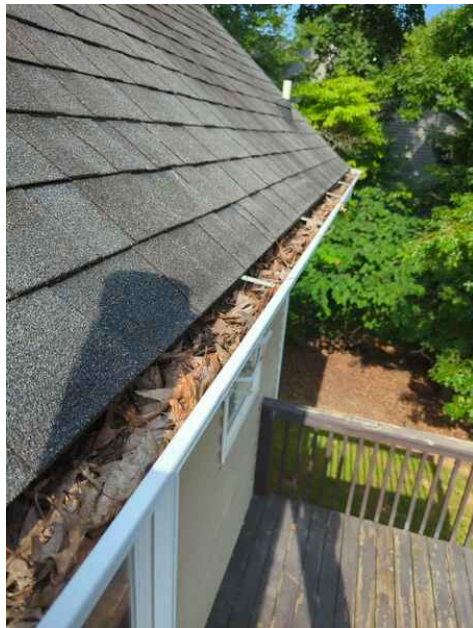
Some roof drainage system downspouts appeared to have blockages leaves j in gutters. This condition can cause gutters to spill, resulting in excessively high soil moisture levels with the potential to cause foundation damage related to soil movement. Blocked downspouts should be cleared, and gutters kept clean to avoid future blockages.

Recommendation

Contact a handyman or DIY project



Rear Gutter System



Rear Gutter System



2.6.2 Roof Drainage

 Moderate Concern

DOWNSPOUTS: DISCONNECTED

Some roof drainage system downspouts disconnected. To avoid possible foundation damage that can result from excessively high soil moisture levels, disconnected downspouts should be re-connected

Recommendation

Recommended DIY Project



Missing Boot connecting downspout to drainage system. Located beside front porch.

2.6.3 Roof Drainage



Minor Concern

GUTTERS: BENT OR DAMAGED

The gutters were bent or damaged. Damaged gutter sections should be replaced by a qualified contractor to avoid excessively high moisture levels in soil near the foundation that can cause foundation damage related to soil movement.

Recommendation

Contact a qualified gutter contractor



Bent Gutter section. Located to the left of the front porch.

2.8.1 Asphalt Shingles



Minor Concern

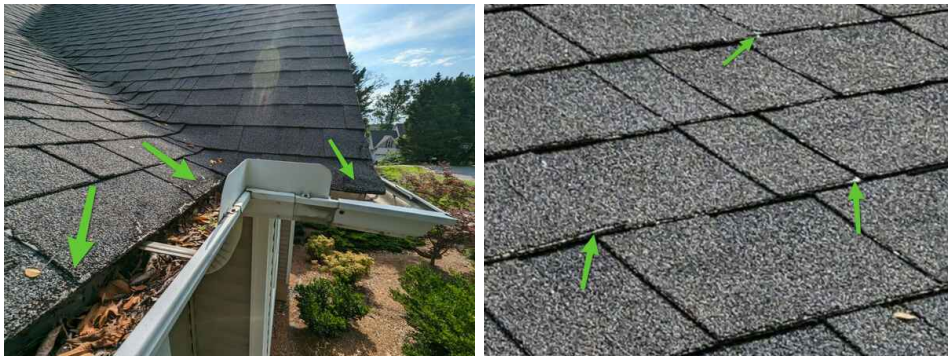
DETERIORATION: MODERATE

SHED ROOF ABOVE FRONT PORCH

The architectural asphalt shingles exhibited moderate deterioration on edges of shingles. Fiberglass mat edges will breakdown faster when exposed to the elements but it will not immediately affect their ability to protect the structure. Recommend monitoring for possible leaks and contacting a Roofing Professional when necessary.

Recommendation

Contact a qualified roofing professional.



Granular loss along edges of some shingles

2.8.2 Asphalt Shingles



Minor Concern

DISCOLORATION: EXTRACTIVES

Asphalt composition shingles had dark streaks consistent with leaching of water-soluble compounds from asphalt. This condition can be caused by shingle storage conditions before installation or organic growth. It will not affect shingle performance.



3: EXTERIOR

Information

Grounds: Boundary Wall Material
Formed Concrete walls

Grounds: Retaining wall material
Formed Concrete

Driveway: Driveway surface material
Concrete

Walkways: Walkway Materials
Concrete

Door/Window Exteriors: Exterior door materials
Solid wood, Metal

Door/Window Exteriors: Window exterior materials
Vinyl Fiberglass

Exterior Trim: Trim Material
Vinyl, Same as siding

Plumbing: Water Pressure
40-45 psi

Deck: Deck floor material and fastening
Wood board, Screwed

Deck: Deck Guardrail Materials
Wood

Deck: Deck Location
Rear of home

Deck: Finish Coating Type
Black Paint



Deck: Foundation Type
Concrete pads

Porch: Porch Location
Front



Grounds: Grounds Photos

Left Front corner



Right front Corner



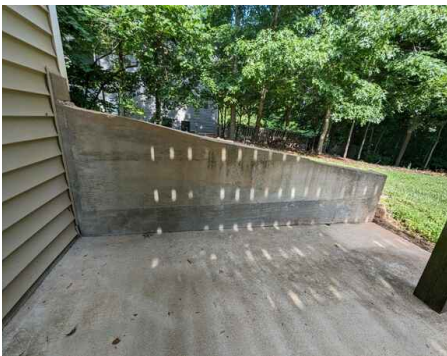
Back Right Corner



Back Right Corner



Back Left Corner



Right side of Rear Patio



Right Side

Wall Exteriors: Housewrap: synthetic

A synthetic exterior wall membrane appeared to be installed behind the exterior wall covering to help protect the wall assembly from moisture intrusion. Most of the area that would be covered by a membrane was hidden behind the exterior wall covering. Proper installation can only be confirmed before the exterior wall-covering material is installed.

Wall Exteriors: Mostly OK

The Inspector observed few deficiencies in the condition of the exterior walls. Notable exceptions will be listed in this report.

Exterior Trim: Trim material, ____

The house is trimmed in Vinyl pieces. Front gable end is cover with cedar shakes within gable ends.



Plumbing: Exterior Water Spigots

Front left corner and rear right corner



Front Left



Rear Right



Deck: Deck framing material

Wood, Pressure-treated wood



Deck: Ledger attachment to Home

Bolted to framing

The deck ledger board appeared to be properly flashed and bolt to the framing of the house.

**Deck: What's inspected**

Inspection of decks typically includes visual examination of the following:

- Foundation;
- General structure;
- Stair components;
- Attachment to home;
- Floor planking; and
- Guardrails

Deck: Stairs

Porch: What's inspected

Inspection of the porch typically includes visual evaluation of the:

- Foundation;
- Structure;
- Floor surfaces;
- Guardrails; and
- Stairs



Ledge Bolted to the house framing
Joist hangers w/ Proper nails

Limitations

Wall Exteriors

DISCLAIMER

Inspection of wall exteriors includes identification of deficiencies that are readily visible. The Inspection company disclaims identification of deficiencies not readily visible from the exterior.

Door/Window Exteriors

DISCLAIMER: UPPER LEVEL WINDOWS NOT CLOSELY VIEWED

The exterior of some upper level windows could not be viewed as closely as windows at ground level.

Deficiencies

3.1.1 Grounds

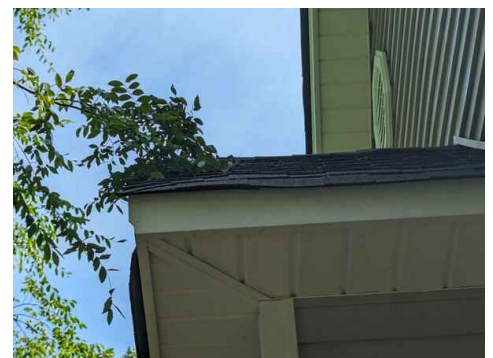
TREES: BRANCHES CONTACT ROOF SURFACE

 Moderate Concern

Tree branches were rubbing against the roof of the fireplace bump out roof. Continued growth from tree will eventually damage the house. Recommend pruning trees back away from structure.

Recommendation

Contact a qualified tree service company.



3.2.1 Driveway

**CRACKS: SIGNIFICANT CRACKS, MORE THAN 1/4"**

Significant cracks (greater than 1/4 inch (6 mm) in the driveway surface should be filled with an appropriate material to avoid continued damage to help reduce continuing damage.

Recommendation

Contact a qualified professional.



3.3.1 Walkways

**TRIP HAZARDS: SOIL MOVEMENT**

Vertical soil movement beneath walkway pavement in areas has created trip hazards that should be corrected by a qualified contractor for possible mud jacking.

Recommendation

Contact a qualified professional.



3.4.1 Wall Exteriors

**DRYER EXHAUST DUCT: DISCHARGE COVER/SCREEN MISSING**

Where it discharged to the home exterior, the dryer exhaust duct was missing the cover or screen. This condition may allow animal entry or the accumulation of debris related to animal nesting, a potential fire hazard. A proper cover should be installed by a qualified contractor.

Recommendation

Contact a qualified professional.



Missing or Broken Louvers on dryer exhaust vent in front of house

3.4.2 Wall Exteriors

**SEAL PENETRATIONS IN EXTERIOR WALLS**

Exterior wall penetrations had gaps that should be sealed with an appropriate sealant to prevent moisture and insect entry.

Recommendation

Contact a qualified handyman.



Where propane gas line enters the house should be caulked.



Front corner above the porch soffit is falling down.



Siding does not extend all the way to the corner.



Light fixture on rear of house is pulling away from wall

3.5.1 Door/Window Exteriors

DOOR: DAMAGE, LIGHT

 Minor Concern

The rear exit door to the patio has damage to the bottom portion appears to be rusted. Recommend painting or repairing the finish to prevent more rust from forming.

Recommendation

Recommended DIY Project



3.5.2 Door/Window Exteriors

**WINDOWS: SCREENS, DAMAGED OR MISSING**

All Window screens were missing throughout the out. This can allow pest inside the living space of the home if the windows are left open for long periods of time. Recommend contacting a window specialist to have screens made to fit each window.

Recommendation

Contact a qualified window repair/installation contractor.

3.5.3 Door/Window Exteriors

**WINDOW PREVIOUS WATER DAMAGE**

The bottom and top of the window in the utility room window show signs of previous water intrusion.

Recommendation

Contact a qualified professional.



3.6.1 Exterior Trim

**SOFFITS: BEES ENTERING SOFFIT**

Bees were seen entering and exiting the home soffits. You should contact a beekeeper or pest control contractor for advice on removal and sealing off points of insect entry.

Recommendation

Contact a qualified pest control specialist.



3.8.1 Deck

**FINISH COATING: PAINT PEELING**

The deck had peeling paint. Maintenance performed on an appropriate schedule can significantly extend the lifespan of wood deck components. An evaluation should be performed by a qualified contractor to provide an estimate for work as necessary.

Recommendation

Contact a qualified painting contractor.



3.8.2 Deck

**ORGANIC GROWTH ON FRAMING**

Water staining and organic growth was noted on the joist of the deck structure. This can cause the deck joist to begin to rot faster over time. Recommend cleaning the joist and applying a penetrating stain to prevent a reoccurrence.

Recommendation

Contact a qualified professional.



3.9.1 Porch

**GUARDRAILS: LOOSE**

There were not any fasteners attaching the bottom rail of the stair handrail at the time of the inspection. This will cause the railing to be weaker than needed if someone falls into the railing.

Recommend using screws to fasten the railing to the post to secure it.

Recommendation

Contact a qualified professional.



3.9.2 Porch

**MOISTURE DAMAGE**

There appears to be some moisture damage on the trim on the bottom of the support post that is against the house on the right side guardrail. Moisture levels were slightly elevated when checked with a moisture meter but was not wet to the touch at the time of inspection. Recommend monitoring this section after a good rainfall to determine if the problem persists or is an old issue that has been corrected.

Recommendation

Contact a qualified professional.



Moisture damaged wood and a loose trim nail show signs of previous water intrusion.

3.9.3 Porch

Moderate Concern

STAIR: STRINGER, CRACKED/BROKEN 2

Stair stringers supporting treads at this deck were cracked or broken. This condition is a potential fall hazard. Repairs should be made as necessary by a qualified contractor.

Recommendation

Contact a qualified carpenter.



Corner of Stringer is broken loose and step is pulling away.



Step Pulling away from Stringer



Continuous Crack running full length of right side stringer

4: GARAGE

Information

Garage Description

2-car

Automatic Opener: Garage Door Opener Type

Automatic chain drive, Computer controlled

Automatic Opener: Number of Automatic Openers

2, Remote Option Through an APP

Overhead Doors: Overhead doors: what's inspected?

Inspection of overhead garage doors typically includes examination for presence, serviceable condition and proper operation of the following components:

- Door panels;
- Mounting brackets;
- Track & rollers;
- Manual disconnect;
- Warning labels;
- Automatic opener;
 - Automatic reverse;
 - Photo sensor; and
 - Switch placement.



Limitations

Automatic Opener

AUTOMATIC REVERSE: DISCLAIMER

Garage doors are not tested by the Inspector using specialized equipment and this inspection will not confirm compliance with manufacturer's specifications. This inspection is performed according to the Inspector's judgment from past experience. You should adjust your expectations accordingly. If you wish to ensure that the garage door automatic-reverse feature complies with the manufacturer's specifications, you should have it inspected by a qualified garage door contractor.

Deficiencies

4.2.1 Automatic Opener

 Moderate Concern**AUTOMATIC REVERSE INOPERABLE**

The automatic reverse feature of the automatic garage door opener was inoperable. This condition is a potential danger to small children and animals. The opener should be serviced by a qualified garage door contractor.

Recommendation

Contact a qualified garage door contractor.

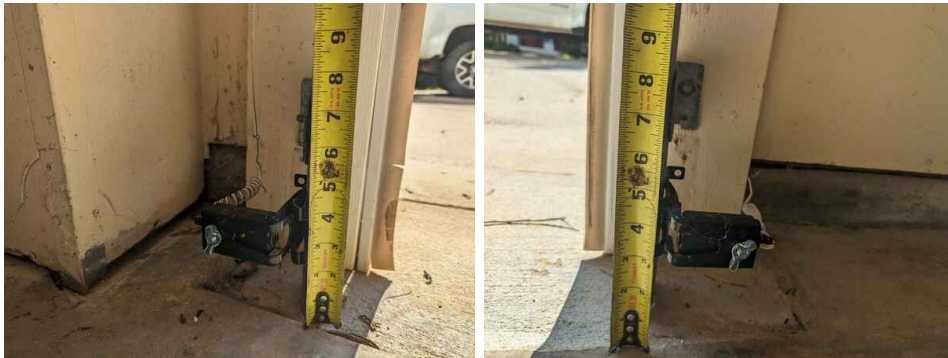
4.2.2 Automatic Opener

 Minor Concern**PHOTO SENSOR, LOWER THAN 4"**

Overhead garage door automatic-reverse photo-sensors were installed above the floor at a height less than the manufacturer recommended 4-6 inches. Sensors are just below 4 inches. This condition is a potential danger to small children and animals. The sensor should be adjusted by a qualified garage door contractor.

Recommendation

Contact a qualified garage door contractor.



Center of Photo-Eyes should be mounted between 4 and 6 inches.

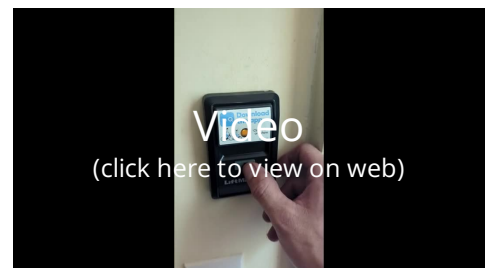
4.2.3 Automatic Opener

 Minor Concern**LIGHT ON GARAGE DOOR OPENER NOT FUNCTIONING AT THE TIME OF INSPECTION**

The light on the garage door opener did not operate at the time of inspection. This could be due to the bulb needing replacement or a possible issue with the Opener or Light Switch. Recommend changing the light bulb to see if that corrects the problem.

Recommendation

Contact a qualified professional.



4.3.1 Floors, Walls, Ceiling, & Conventional Doors

 Minor Concern**CEILING: DAMAGE, MINOR**

A small hole was observed in the garage ceiling. This can allow Exhaust Gases from vehicles to enter the living space. Recommend Patching and repairing of the hole to prevent future incident.

Recommendation
Recommended DIY Project



Hole in ceiling

4.3.2 Floors, Walls, Ceiling, & Conventional Doors

 Major Concern

FIRE SEPARATION: DOOR, NO SELF-CLOSING DEVICE

The door in the wall between the garage and the home living space did not have operable self-closing device installed as is required by modern safety standards. Self-closing doors are designed to slow the spread of fire starting in the garage and to prevent exhaust fumes from entering indoor air. An operable self-closing device should be installed by a qualified contractor.

Recommendation

Contact a qualified professional.



Door leading into garage does not have self closing hinges.



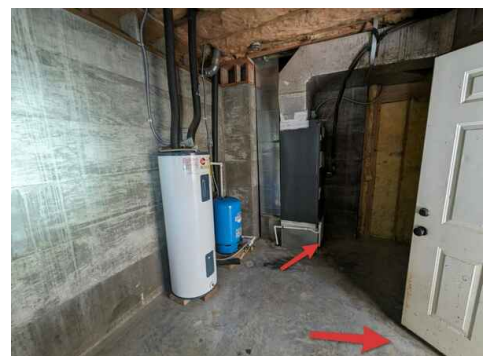
Door into Utility Room does not have a self closing hinge.

4.3.3 Floors, Walls, Ceiling, & Conventional Doors

 Major Concern

AIR INTAKE FOR HVAC PULLS FROM UTILITY ROOM THAT IS OPEN TO THE GARAGE.

The door to the utility room was open at the time of inspection and did not have self closing hinges installed. This can allow the HVAC system to draw in air from the garage which can draw exhaust gases from vehicles to enter the living space and cause a concern for carbon monoxide. Recommend installing self closing hinges on the door to the utility room.



Recommendation

Contact a qualified professional.

Open door to the utility closet allows exhaust gases to enter the living space through the HVAC Intake.

4.4.1 Garage Electrical



Moderate Concern

UTILITY ROOM ELECTRICAL

The electrical outlets within the utility room were not GFCI protected at the time of the inspection. As these outlets are located in an open garage close to the floor with the potential to come in contact with water it is recommended that they be GFCI protected to protect for shock hazards. A licensed electrical should be contacted for further evaluation and repair.

Recommendation

Contact a qualified professional.



5: ATTIC

Information

Attic Access: Access hatch type and location

Ceiling hatch, Master bedroom closet

Attic Access: Attic inspection method

From the hatch

Attic/Roof Structure Ventilation: Attic Ventilation Method

Soffit vents, Continuous ridge vents, Gable vents

Attic/Roof Structure Ventilation: Roof Structure Ventilation

Continous ridge vents, Soffit vents, Gable vents

Thermal Insulation: Application Type

Attic is outside the thermal envelope

Thermal Insulation: Insulation Average Depth

11-16 inches

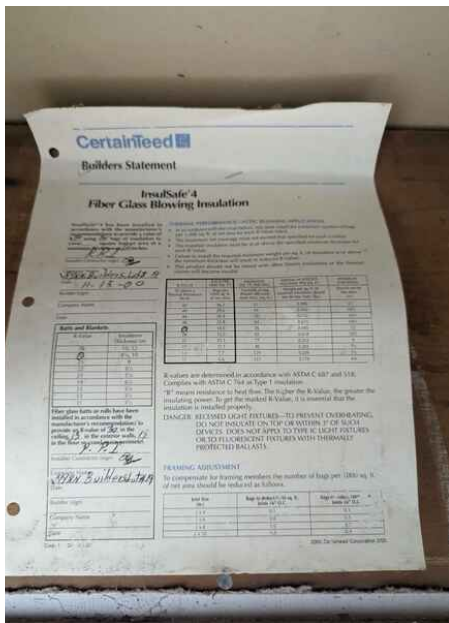
Thermal Insulation: Thermal Insulation Type

Blown fiberglass, Unfaced fiberglass batt

Thermal Insulation: Posted information (attic)

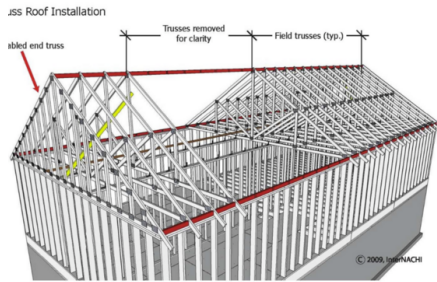
Located in the access hatch area

Written information describing the attic insulation material type and installed R-value was posted in the attic.



Roof Trusses: Truss roof

The roof was framed using manufactured roof trusses. Roof trusses should never be cut or structurally altered in any way. Using the truss interior attic area for storage may place improper structural loads on parts of the trusses not designed to support those loads and should be avoided.



Limitations

Attic Access

ATTIC ACCESS: LIMITED ACCESS

Blown-in Insulation Depth covered all truss members making it Unsafe to access the entire attic space. Attic was inspected based on what was visible from the access hatch area.



Attic Access Located in master bedroom closet

Attic Conditions

BLOWN IN INSULATION COVERING TRUSS MEMBERS.

Blown in Fiberglass insulation was completely covering the truss members and no walk boards were present at the time of inspection Limiting the scope of the inspection. The attic was inspected from the access hatch and the entire attic space was not visible.



Attic/Roof Structure Ventilation

GABLE VENT INACCESSIBLE

The Gable end vent for a portion of the roof/attic ventilation was not visible due to limited access to the attic space. Gable end vent is located at the opposite end of the home to where the attic access is located.



Gable End Vent



Soffit Venting

Deficiencies

5.4.1 Thermal Insulation

 Minor Concern

ACCESS HATCH LID, NO INSULATION

The attic access hatch cover was not insulated. The attic hatch also does not seal completely when in place and allows air to flow between the attic and living space. The Inspector recommends insulating the attic access hatch cover as well as replacing the access hatch with a completely seal version to reduce unwanted heat loss/gain.

Recommendation

Contact a qualified professional.



5.6.1 Attic Pests

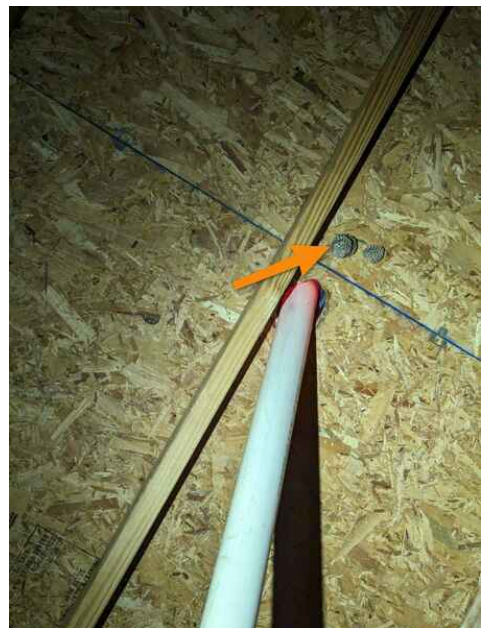
 Moderate Concern

STINGING INSECTS: WASP NESTS PRESENT

Wasp nests were present in the attic. Nests should be removed and points of insect entry sealed.

Recommendation

Contact a qualified pest control specialist.



5.8.1 Attic Electrical, Plumbing and HVAC

ELECTRICAL: LIGHT, NONE

The attic space was not provided with a light.

Recommendation

Contact a qualified electrical contractor.



5.8.2 Attic Electrical, Plumbing and HVAC

ELECTRICAL: LOOSE ELECTRICAL WIRE

Energized electrical wires not contained within a junction box and exposed to touch were visible in the attic. Electrical terminations should be contained within an approved junction box with a cover plate installed. This condition is a shock/electrocution and potential fire hazard and should be corrected by a qualified electrical contractor.

Recommendation

Contact a qualified electrical contractor.



Live Electrical just inside the attic access hatch

5.8.3 Attic Electrical, Plumbing and HVAC

OPEN JUNCTION BOXES PRESENT

There are open Electrical Junction Boxes present with the attic space.

Open electrical boxes present a shock hazard from live electrical wires. Inspector Recommends having cover plates installed on any open Electrical boxes.

Recommendation

Contact a qualified electrical contractor.





Open Junction Box

5.8.4 Attic Electrical, Plumbing and HVAC

 Moderate Concern

BATHROOM EXHAUST VENT DISCONNECTED

The exhaust vent ducting has come disconnected from the Vent port and was at the time of the inspection exhausting air into the attic space. This can allow warm moist air to collect on the insulation within the attic causing the potential for organic growth. Inspector recommends reconnecting the exhaust vent ducting to prevent further issues.

Recommendation

Contact a qualified professional.



6: STRUCTURE

Information

Foundation: Foundation Configuration

Slab-on-grade, Basement, Cast-in-place Concrete Walls

Framed Floor Structure: Intermediate Support

Framed walls

Framed Floor Structure: Thermal Insulation

fiberglass batt

Basement: Wall insulation

Not Visible

Foundation: Foundation Wall Material

Concrete

Framed Floor Structure: Floor Sheathing

Oriented strand board (OSB)

Framed Floor Structure: Joist Material

Engineered wood I-joists

Basement: Basement Finish Condition

Finished, Partially finished, Basement walkout

Framed Floor Structure: Floor Structure Support Beams

Engineered wood built-up beam: nailed

Framed Floor Structure: Perimeter Bearing

Framed Walls

Basement: Basement Floor Material

Concrete slab



Limitations

Foundation

CONCRETE FOUND. WALLS: HIDDEN, INSULATION

UTILITY ROOM

Most of the poured concrete foundation walls were hidden from view. Their inspection was limited to visible areas only.

Foundation

CONCRETE SLAB: NOT VISIBLE- DISCLAIMER

The home structure rested on a concrete slab, most of which was hidden beneath floor covering materials and could not be visually evaluated. The Inspector disclaims identification of any defects or deficiencies of the slab that would require direct viewing to identify.

Slab-on-Grade

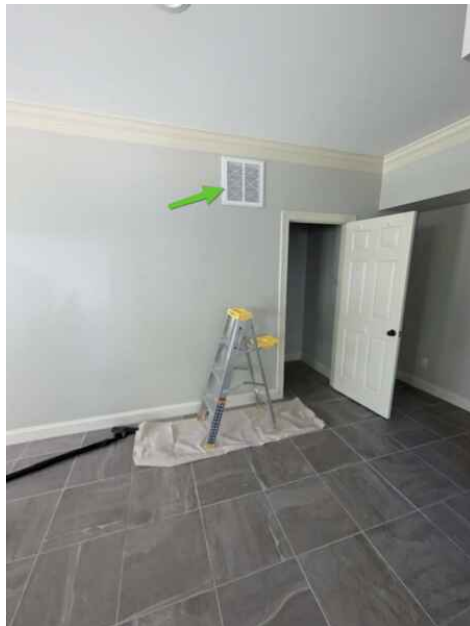
SLAB-ON-GRADE: NOT VISIBLE, DISCLAIMER

The home floors were concrete slab, most of which were hidden beneath floor covering materials and could not be visually evaluated. The Inspector disclaims identification of any defects or deficiencies of the slab that would require direct viewing to identify.

Basement

FINISHED BASEMENT: LIMITED INSPECTION

Because the General Home Inspection is a visual inspection, inspection of the basement floor slab is limited by the fact that most of the slab was hidden beneath floor covering materials. The Inspectors comments are limited to only those portions of the slab he could view directly.



HVAC Filter Located in basement area



Deficiencies

6.1.1 Foundation

CONCRETE FOUNDATION WALLS: DAMP-PROOFING, NONE VISIBLE

Exterior foundation walls had no visible damp-proofing. Damp-proofing involves spraying a material onto the outside of the foundation walls that will be buried once backfill operations are complete. After drying, this sprayed coating becomes highly resistant to water penetration. Its purpose is to help prevent moisture seepage through the foundation walls. Application after backfill operations are complete requires excavating the foundation and is expensive. Damp proofing may be present but hidden beneath soil.

Recommendation

Contact a qualified professional.

 Minor Concern



Moss growing on side of slab foundation

6.1.2 Foundation

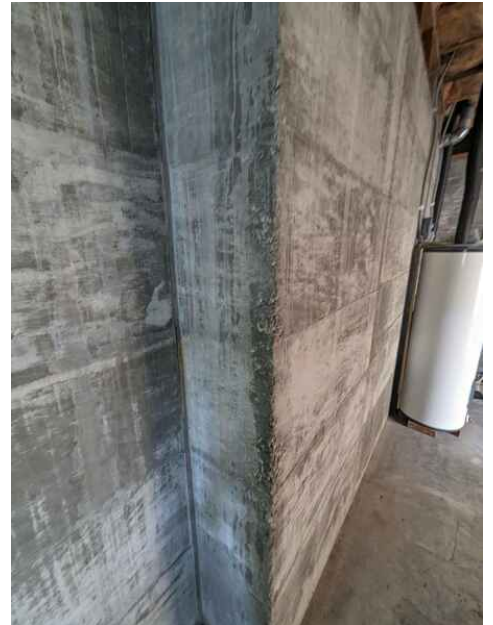
 Minor Concern

**CONCRETE FOUNDATION WALLS:
DETERIORATION**

Some light deterioration was visible in portions of the concrete foundation wall. Corner is chipped away most likely happened during the initial pour when removing the form boards. Recommend monitoring for further deterioration.

Recommendation

Contact a qualified professional.



6.1.3 Foundation

 Moderate Concern

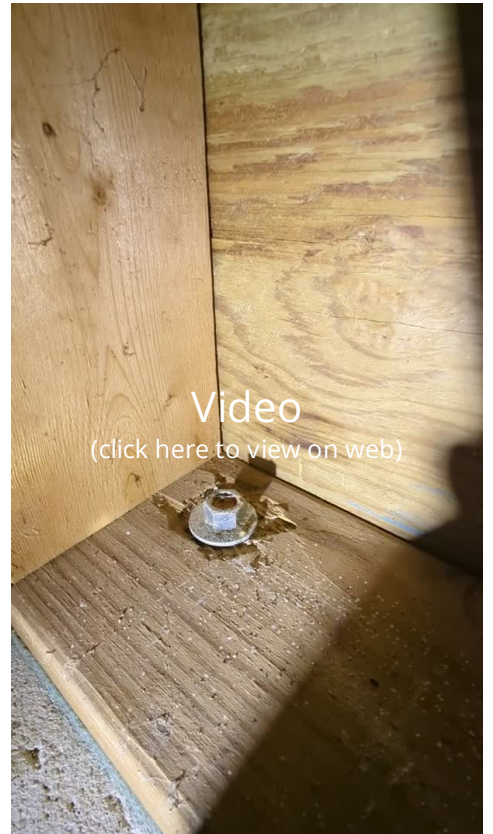
**CONCRETE FOUNDATION WALLS:
ANCHOR BOLTS NOT TIGHTENED**

UTILITY CLOSET

All of the visible anchor bolts were loose and not completely fastening the home structure to the foundation. Widely-accepted current standards require the use of anchor bolts to connect home structural framing to the foundation. This home appeared to have been built within the time period and in an area in which anchor bolts would typically have been required.

Recommendation

Contact a qualified professional.



7: INTERIOR

Information

Floors: General Floor Materials
Natural hardwood, Ceramic tile,
Concrete

Walls: Thermal Insulation, Walls
Not Visible

Ceilings: Tray Ceiling
Master Bedroom



Exterior Doors: Front door



Exterior Doors: Basement Walkout Door



Windows: Window Glazing Type
Double-pane, Undocumented

Windows: Window Style(s)
Single hung, Sliding

Fireplace: Fireplace Type
Living Room
Gas-fired



Bedroom 1: Bedroom Floor Materials
Natural hardwood

Bedroom 2: Bedroom Floor Materials

Natural hardwood

Laundry Room: Dryer exhaust duct: smooth metal, approved

Utility Closet in garage

The dryer exhaust duct was a smooth metal type approved for this use.

Master Bedroom: Bedroom Floor Materials

Natural hardwood



Dryer Exhaust Ducting

Basement Bathroom: Bathroom Configuration

Basement

1 sink in cabinet/toilet/tub-with-shower

Basement Bathroom: Bathroom Floor Materials

Ceramic tile

Basement Bathroom: Bathroom Ventilation

Exhaust fan



Basement Bathroom: Toilet type(s)

Conventional



Bathroom: Bathroom Configuration

Main Floor

1 sink in cabinet/toilet/tub-with-shower



Bathroom: Bathroom Floor Materials

Ceramic tile

Bathroom: Bathroom Ventilation

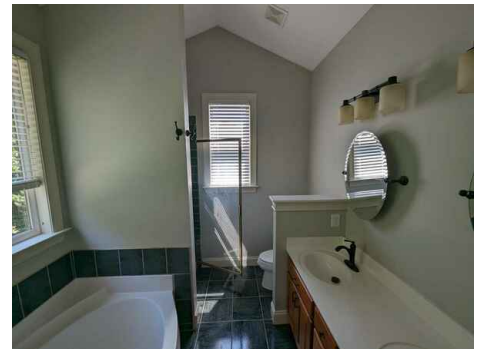
Exhaust fan

Bathroom: Number of Bathrooms

1 bathroom

Master Bathroom: Bathroom Configuration

2 sinks in cabinet/toilet/tub-with-shower, Enclosed shower



Master Bathroom: Bathroom Floor Materials

Ceramic tile

Master Bathroom: Bathroom Ventilation

Exhaust fan

Master Bathroom: Toilet type(s)

Conventional

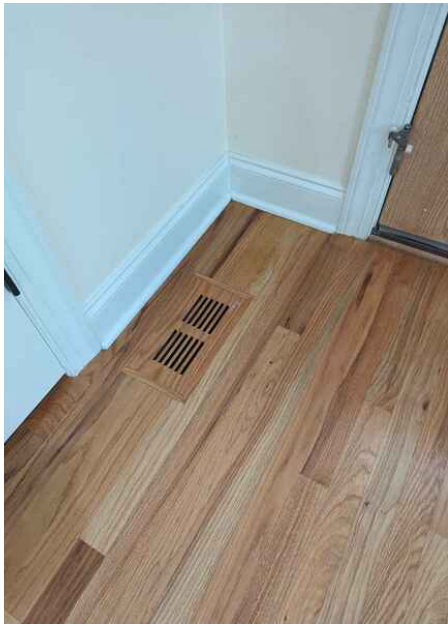
**Master Bathroom: Bath Tub****General Interior: Smoke detectors: hard-wired**

The home had smoke detectors that were interconnected through the home branch wiring. This means that when one detector is activated, all will be activated. Each detector should be checked occasionally to make sure it has power. If a detector has power, the indicator light will be illuminated. A number of types of smoke detectors exist and effective testing methods are not always obvious. The Inspector recommends that you take the time to learn how to check all detectors for proper operation.

Floors: Hardwood Floors

Main floor

Hardwood floors are located throughout the main floor of the home. Including the Living Room, Kitchen, and 3 bedrooms.



Floors: Tile Floors

Tile Flooring is located in each of the 3 bathrooms as well as the Basement Floor



Interior Doors: Interior Door Types

Hollow core



Basement closet door



Bedroom Door



Closet door

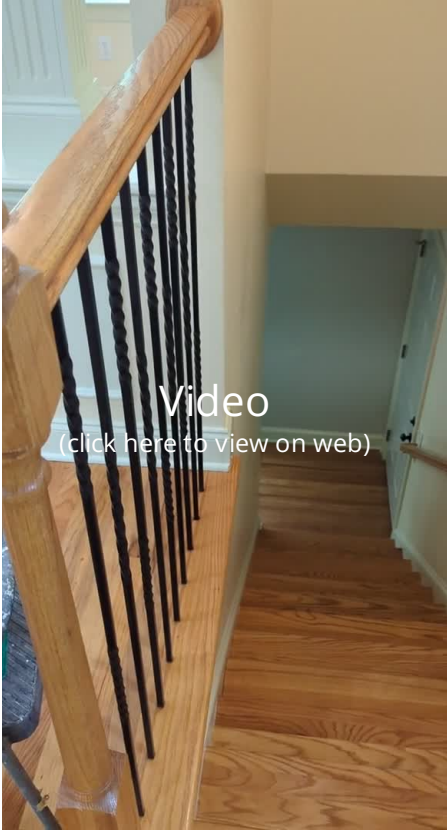
Windows: Window Frame Material

Vinyl



Stairways : Type of staircase

Straight



Bedroom 1: Bedroom 1 Interior



Bedroom 2: Bedroom 2 Interior

Front Right Corner of Home



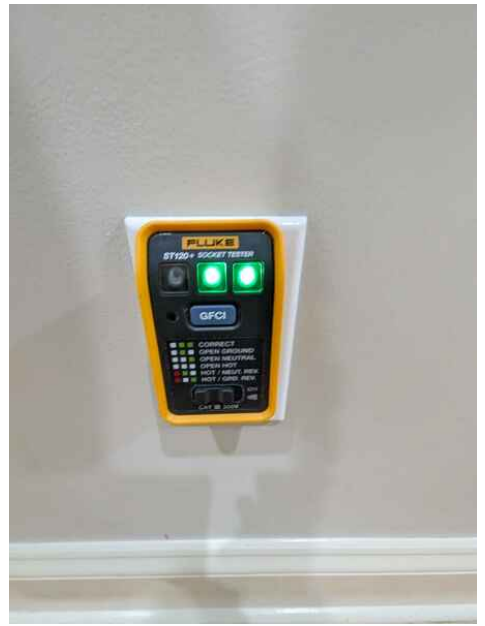
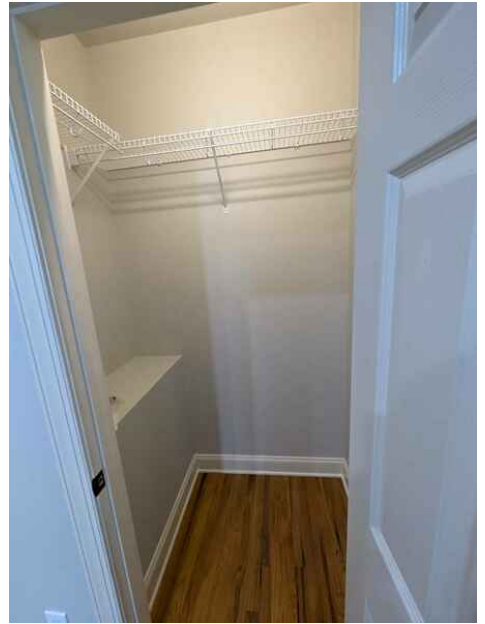
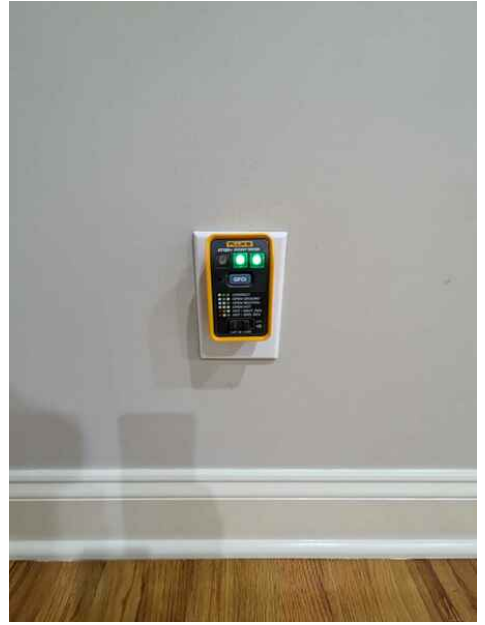
All outlets tested and are unremarkable at the time of inspection



Blind has a crack in it.



Master Bedroom: Master Bedroom Interior



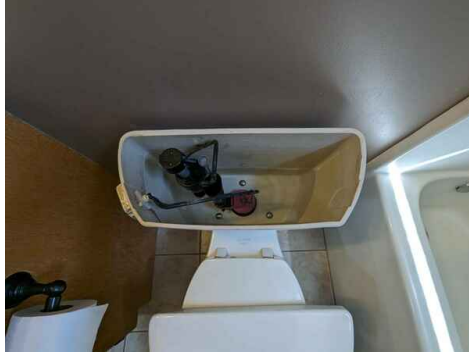


Basement Bathroom: Sink



Bathroom: Toilet type(s)

Conventional



Bathroom: Sink



Slow Drainage

Master Bathroom: Sink / Vanity



Master Bathroom: Enclosed Shower



Limitations

Laundry Room

NO APPLIANCES PRESENT



Basement Bathroom

TOILET/SINK WATER SUPPLY SHUT OFF, NOT OPERATED

Water supply shut-off valves for the toilets and sinks were not operated but were evaluated visually only.

Bathroom

TOILET/SINK WATER SUPPLY SHUT OFF, NOT OPERATED

Water supply shut-off valves for the toilets and sinks were not operated but were evaluated visually only.

Master Bathroom

TOILET/SINK WATER SUPPLY SHUT OFF, NOT OPERATED

Water supply shut-off valves for the toilets and sinks were not operated but were evaluated visually only.

Deficiencies

7.1.1 General Interior

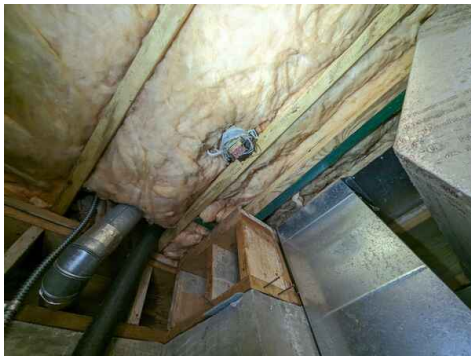
 Minor Concern

DOORBELL - INOPERABLE DOORBELL

The doorbell was inoperable at the time of the inspection. Recommend having a handyman examine and determine the cause of the problem.

Recommendation

Contact a qualified handyman.

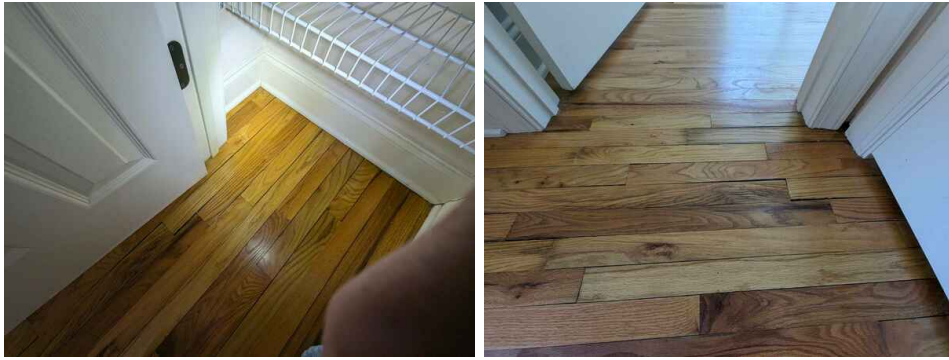


7.2.1 Floors

 Minor Concern

WOOD FLOORS: MOISTURE DAMAGE

Wood flooring had areas of discoloration typical of moisture damage but the floor was not wet at the time of inspection.



7.6.1 Exterior Doors

TRIP HAZARD

The door threshold is roughly 2 inches high and poses a trip hazard when walking in and out of the door. Recommend speaking with a general contractor about lowering the threshold to be even with the floor.

Recommendation

Contact a qualified professional.

Moderate Concern



7.8.1 Windows

SASH: DAMAGE, MODERATE

LIVING ROOM WINDOW 1 LEFT OF THE FRONT DOOR AS YOU ENTER

Window 1 in the living room has a damaged sash. The weight on the right side of window has been damaged and makes the window not function as intended. Recommend a window technician replace the broken weight to allow window to operate as normal.

Recommendation

Contact a qualified professional.

Moderate Concern



Window sash sits crooked in the frame due to broken weight.

7.10.1 Fireplace

BROKEN TILE AROUND FIREPLACE

There is a broken tile on the front of the fireplace.

Recommendation

Contact a qualified professional.

Minor Concern



7.10.2 Fireplace

DEBRIS IN FIREPLACE.

Moderate Concern

The fireplace was not tested during the inspection. Gas was turned off. Recommend cleaning out the Firebox and then testing the equipment.

Recommendation

Contact a qualified professional.



Flammable debris inside firebox



Propane Tank is touching the house.



There appears to be a bird nest located inside the lid of the propane tank

7.11.1 Bedroom 1

AFCI RECEPTACLES: NONE INSTALLED (BR)

 Moderate Concern

Electrical receptacles in this bedroom were not protected by an arc-fault circuit interrupter (AFCI) device. AFCI protection may not have been required when the home was originally constructed. You should consult with a qualified electrical contractor to discuss installation of AFCI protection to meet modern electrical safety standards.

Recommendation

Contact a qualified electrical contractor.

7.12.1 Bedroom 2

AFCI RECEPTACLES: NONE INSTALLED (BR)

 Moderate Concern

Electrical receptacles in this bedroom were not protected by an arc-fault circuit interrupter (AFCI) device. AFCI protection may not have been required when the home was originally constructed. You should consult with a qualified electrical contractor to discuss installation of AFCI protection to meet modern electrical safety standards.

Recommendation

Contact a qualified electrical contractor.

7.12.2 Bedroom 2

**DOOR, INT.:
DAMAGE/DETERIORATION, MINOR**

 Minor Concern

An interior door in this bedroom exhibited minor damage or deterioration. There was a hole in the closet door caused by the door stopper. Recommend patching mainly cosmetic.



7.13.1 Laundry Room

FLOOR DAMAGE

LAUNDRY ROOM LEFT CORNER FLOOR

Floor boards are damaged around the edges and some of the flooring is separating indicating that there may have been prior water damage. Floor was not wet at the time of inspection.

Recommendation

Contact a qualified professional.



7.14.1 Master Bedroom

AFCI RECEPTACLES: NONE INSTALLED (BR)

Electrical receptacles in this bedroom were not protected by an arc-fault circuit interrupter (AFCI) device. AFCI protection may not have been required when the home was originally constructed. You should consult with a qualified electrical contractor to discuss installation of AFCI protection to meet modern electrical safety standards.

Recommendation

Contact a qualified electrical contractor.



7.15.1 Basement Bathroom

 Moderate Concern**BATHTUB: SLOW TO DRAIN**

The tub was slow to drain. This is typically due to a clogged trap but may also indicate a blockage of the waste pipe. An evaluation and any necessary work should be performed by a qualified plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



7.15.2 Basement Bathroom

 Minor Concern**BATHTUB: STOPPER INOPERABLE**

The tub in this bathroom had an inoperable stopper.

Recommendation

Contact a qualified handyman.

7.15.3 Basement Bathroom

 Moderate Concern**SINK: SLOW TO DRAIN**

The sink in this bathroom was slow to drain. An evaluation and any necessary work should be performed by a qualified plumbing contractor.

Recommendation

Contact a qualified professional.



Slow Drainage

7.15.4 Basement Bathroom

 Moderate Concern**SINKS: OVERFLOWS, NONE INSTALLED**

The sinks in this bathroom had no overflow safety features installed. If the drains should become blocked while water is running the sinks will overflow.

Recommendation

Contact a qualified professional.

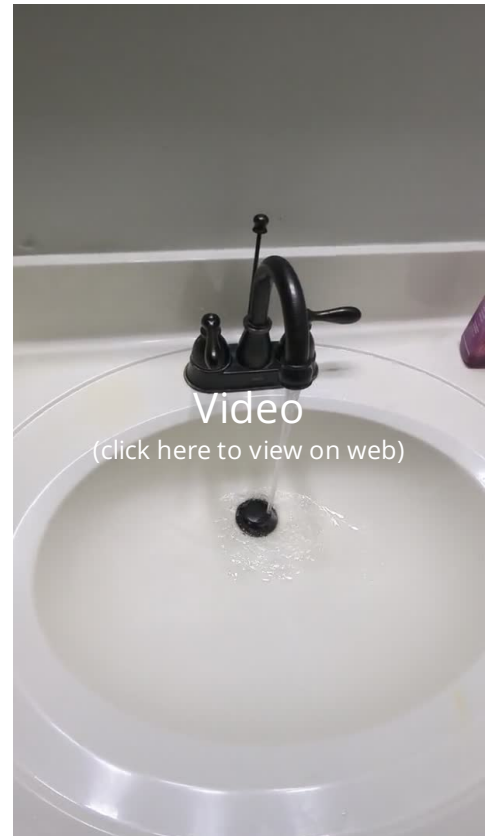
7.15.5 Basement Bathroom

 Moderate Concern**SINKS: STOPPER, 1 INOPERABLE**

One sink in this bathroom had an inoperable stopper.

Recommendation

Contact a qualified professional.



7.15.6 Basement Bathroom



Moderate Concern

SEDIMENT IN TOILET TANK

Inspector observed sediment build up in the toilet tank in the bathroom. This is due to minerals in the water such as calcium and magnesium. Sediment build up can clog the holes where water flows into the toilet bowl resulting in a weak or incomplete flush.

Recommend having a licensed plumbing contractor install a sediment filter in the home.



Recommendation

Contact a qualified professional.

7.16.1 Bathroom



Minor Concern

SHOWER: DIVERTER SEAL

BATHROOM 1

In this bathroom, the diverter valve seal is wearing out causing a whistling sound when switching the water flow between the Tub Spout and Shower Head or did not operate correctly (the diverter is the valve that diverts water from the tub faucet to the shower head). This condition should be corrected by a qualified plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.

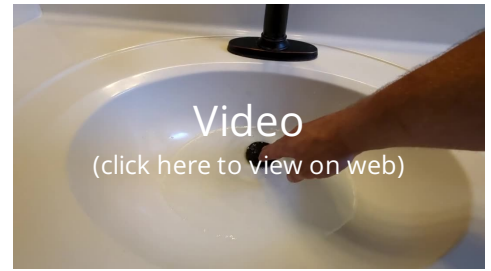
7.16.2 Bathroom

 Moderate Concern**SINK: SLOW TO DRAIN**

The sink in this bathroom was slow to drain. An evaluation and any necessary work should be performed by a qualified plumbing contractor.

Recommendation

Contact a qualified professional.



7.16.3 Bathroom

 Moderate Concern**SINKS: OVERFLOWS, NONE INSTALLED**

The sinks in this bathroom had no overflow safety features installed. If the drains should become blocked while water is running the sinks will overflow.

Recommendation

Contact a qualified professional.

7.17.1 Master Bathroom

 Moderate Concern**BATHTUB: SLOW TO DRAIN**

The tub was slow to drain. This is typically due to a clogged trap but may also indicate a blockage of the waste pipe. An evaluation and any necessary work should be performed by a qualified plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



7.17.2 Master Bathroom

 Minor Concern**CABINET: DOOR HINGES LOOSE**

The hinge on the left cabinet door on the right side of the vanity has become detached.

Recommendation

Contact a qualified handyman.



7.17.3 Master Bathroom

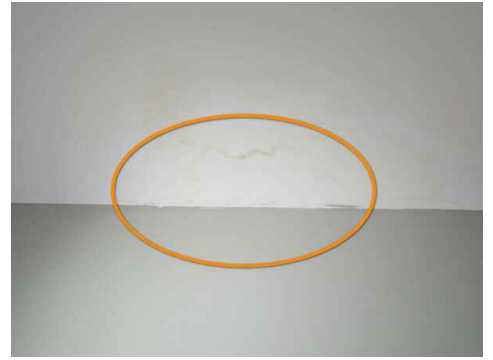
**CEILINGS: DRYWALL STAINS, ROOF LEAKS, NORMAL MOISTURE**

ABOVE THE VANITY WHERE WALL MEETS CEILING

Stains on the ceiling in this bathroom appeared to be due to leakage from above. The moisture meter showed no elevated levels of moisture present in the sagging areas at the time of the inspection, indicating that the source of leakage may have been corrected. The Inspector recommends that once it has been determined that the source of leakage has been corrected, the damaged sections of drywall should be replaced, textured and painted to match the existing. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with qualified contractors to discuss options and costs for correction and repair.

Recommendation

Contact a qualified professional.



7.17.4 Master Bathroom

**TOILET PREVIOUS LEAK**

There are stains on the floor behind the toilet in the master bathroom that indicated previous water standing on the floor possibly indicating a prior leak. Recommend monitoring for any leakages.

Recommendation

Contact a qualified professional.



8: KITCHEN

Information

Countertops: Counter Tops



Disposal: Disposal Model Information



Range: Range/Cooktop Brand
GE

Range: Range Hood Type
Re-circulating

Range: Range Type
Electric range

Oven: Built-in Oven(s) Type
Range / Oven

Range Hood: Range hood exhaust type
Recirculating w/cleanable filters



Cabinets: Wood Cabinets



Sink: Kitchen Sink



Dishwasher: Dishwasher Brand

GE

Dishwasher completed a quick wash cycle during inspection.



Electrical: GFCI outlets present



Lighting: Lighting

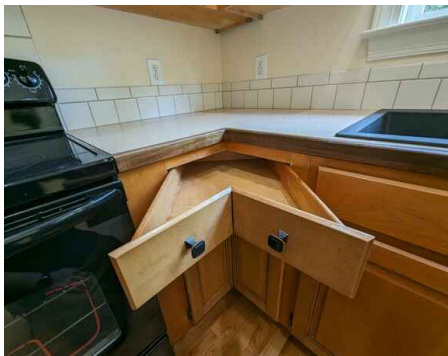
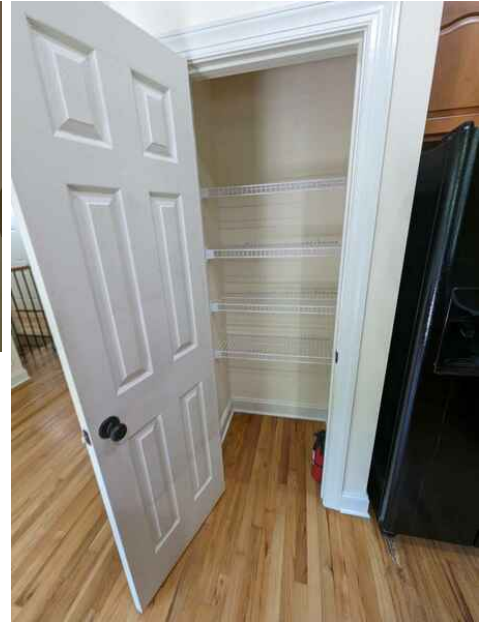


Built-in Microwave: Built-in microwave oven

The home had a built-in microwave oven.



Walls: Kitchen



Limitations

Range

RANGE: LIMITED INSPECTION

Inspection of ranges is limited to exterior and door condition, and basic functions such as testing of the range-top burners and bake/broil features of the oven. Self-cleaning and convection features are not tested



Oven

RANGE/ OVEN: LIMITED INSPECTION

The General Home Inspection testing of ovens does not include testing of all oven features, but is limited to confirmation of basic performance and interior and exterior conditions. You should ask the seller about the functionality of any other features.

**Deficiencies**

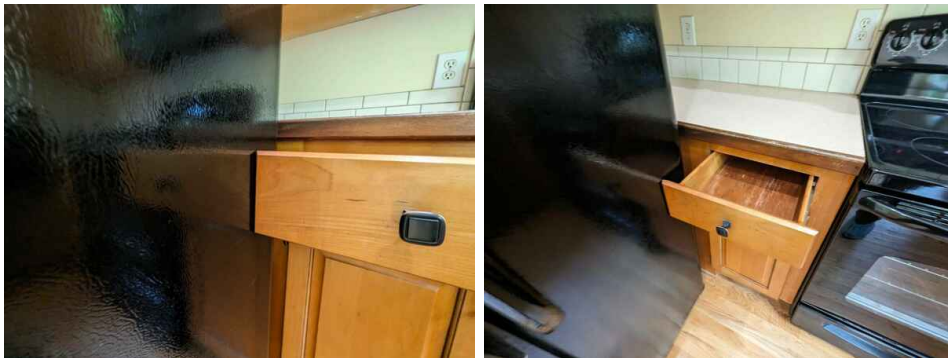
8.2.1 Cabinets

 Minor Concern**DRAWER HITS REFRIGERATOR**

The Drawer closest to the refrigerator contacts the refrigerator door when opening it. Can cause premature wear and tear on the draw over time. Recommend modifying the drawer face to allow it to clear the refrigerator.

Recommendation

Contact a qualified professional.



8.9.1 Range Hood

 Moderate Concern**NO HOOD DUCT TO EXTERIOR, FAN OK**

The exhaust fan was functional but no exhaust duct to the exterior was installed. An exhaust duct should be installed to exhaust moisture and odors to the exterior.

Recommendation

Contact a qualified professional.

9: ELECTRICAL

Information

General Condition: Electrical
Unremarkable

Service Drop: Service conductors
Copper, 3-wire (240V)

Service Drop: Service type
Underground

Service Drop: Type of attachment
Side of structure

Electric Meter: Electric meter location
Rear

Electric Meter: Electric meter type
Solid state (LCD)

Service Entrance Cables: Amperage rating

The service entrance conductors were 200 amps.

Service Entrance Cables: Service entrance cable ampacity
2/0 copper/200 amps

Service Entrance Cables: Viewed service entrance conductors at:
In the service panel



Service Panel: Main disconnect ampacity
200 amps

Service Panel: Main disconnect type
Breaker

Service Panel: Overcurrent protection type
Circuit breakers

Service Panel: Service panel ampacity
200 amps

Service Panel: Service panel brand
Homeline

Service Panel: Service panel type
Flush mount, Load center

Service Grounding & Bonding: Grounding electrode Type
Driven rod, Unknown / Not Visible

Branch Circuits & Devices: Branch Circuit Conductor Type
Copper

Branch Circuits & Devices: Ground fault circuit interruption (GFCI) protection method
GFCI receptacles
GFCI protection of some branch circuits was provided by this method.

Branch Circuits & Devices: Overcurrent protection type
GFCI

Service Drop: Service lateral: underground

Conductors supplying electricity to the home were buried underground.



Electric Meter: Location: _____

The electric meter was located at the rear of the building attached to the side of the garage.



Service Panel: Service panel location

Garage



Branch Circuits & Devices: Exterior receptacles: GFCI response, OK

At the time of the inspection, the Inspector observed no deficiencies in the response of exterior Ground Fault Circuit Interrupter (GFCI)-protected electrical receptacles.

Branch Circuits & Devices: Exterior receptacles: mostly GFCI, weather-protected

Most exterior electrical receptacles were Ground Fault Circuit Interrupter (GFCI)-protected and enclosed in weather-resistant covers. Exceptions will be listed in this report.



Photo error causes lights to not show up on film on occasion Outlets are wired correctly

Branch Circuits & Devices: GFCI protection installed

The home had ground fault circuit interrupter (GFCI) protection that appeared to comply with generally-accepted modern safety standards. A representative number of GFCI-protected electrical receptacles were tested and responded in a satisfactory manner at the time of the inspection.

Lighting: Interior Lighting



Lighting: Exterior Lighting



Limitations

Service Grounding & Bonding

GEC: CONNECTION TO ELECTRODE NOT VISIBLE, RECEPTACLES GROUNDED

The Inspector was unable to visually confirm connection to a grounding electrode. This condition is common because grounding electrodes are required by modern safety standards to be fully buried. Testing of home electrical receptacles indicated connection to a grounding electrode.



10: PLUMBING

Information

Water Supply and Distribution: Distribution Pipe Bonding

Pipes not bonded

Water Supply and Distribution: Distribution Pipe Material

¾-inch copper tubing,
Crosslinked polyethylene (PEX),
Polyvinyl chloride (PVC)

Water Supply and Distribution: Water Service Pipe Material

1-inch, PVC



Water Supply and Distribution: Water Source

Private

Water Supply and Distribution: Water supply pipes: approved plastic

The home water distribution
pipes included an approved
plastic type.

Drain, Waste and Vent (DWV) : Drain, Waste, & Vent Pipe Materials

Polyvinyl Chloride (PVC), 3-inch,
4-inch

Drain, Waste and Vent (DWV) : Sewer System

Public

Water Heater: Data plate: photo

The photo shows the data plate
of this water heater.



Water Heater: Photo of water heater



Water Heater: Serial number

This water heater serial number
was . 1100603983

Water Heater: Water Heater Brand

Rheem

Water Heater: Water heater location

mechanical room, garage

Water Heater: Water heater tank capacity

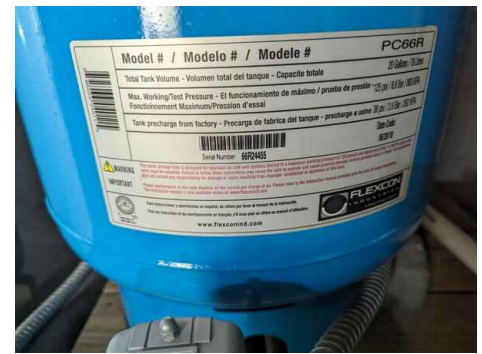
50 gallons (189 litres)

Water Heater: Water Heater Type

Electric, Conventional storage tank

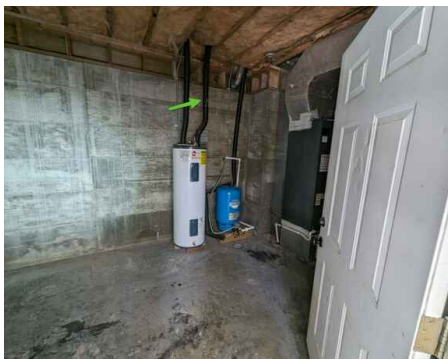
Private Water Well: Location, pump and pressure tank

Utility room, Garage

**Water Supply and Distribution: Main water shut-off: location**

Above the Hot Water Heater

The main water supply shut-off was located in the Garage Utility Room Above the hot water heater.



Main Water Shut Off

Water Heater: About conventional storage tank water heaters

Storage tanks water heaters are the most common type of water heater. They consist of an insulated tank in which water is heated and stored until needed. When a hot water valve is opening somewhere in the home, hot water is pulled from a pipe at the top of the water heater. To prevent overheating resulting in the development of excessive pressure in the tank (with the potential for high-energy explosion) a temperature/pressure relief (TPR) valve is installed that is designed to open if either exceeds a preset level. Natural-gas water heaters typically use less energy and cost less to run (by about half) than electric water heaters, although gas models cost more at the time of purchase.

Water Heater: Date of manufacture

The date of manufacture for this water heater appeared to be ___November 2000___. Water heater is approximately 24 years old. It was noted that the water took a while to get to a warm temperature when testing the hot water. Even though the water heater appears to be functioning at the time of the inspection. 24 years is well beyond the recommend service life of an electric water heater. Inspector recommends budgeting for a replacement in the next 5 years.

**Water Heater: Electric water heater**

This was an electric water heater. This type of water heater uses electric elements to heat water in the tank. These elements can often be replaced when they burn out. With heaters having two heating elements, the lower element usually burns out first. Heating elements should be replaced only by qualified plumbing contractors or HVAC technicians.

Water Heater: TPR valve: present

The water heater was equipped with a temperature/pressure relief (TPR) valve that was not operated by the Inspector. Operating the TPR valve lies beyond the scope of the General Home Inspection. The Inspector recommends that the TPR be operated by the homeowner monthly as a maintenance measure.

Water Heater: Water heater, what's inspected?

Water heaters should be expected to last for the length of the warranty only, despite the fact that many operate adequately for years past the warranty date. Water heater lifespan is affected by the following: The lifespan of water heaters depends upon the following: - the quality of the water heater; - the chemical composition of the water; - the long-term water temperature settings; and - the quality and frequency of past and future maintenance. Flushing the water heater tank once a year and replacing the anode every four years will help extend its lifespan. You should keep the water temperature set at a minimum of 120 degrees Fahrenheit to kill microbes and a maximum of 130 degrees to prevent scalding.

Cleanouts: Cleanout definition

A Plumbing system "cleanout" is an access opening in a home drainage/waste/sewer pipe system installed for the purpose of removing a clog, blockage, or other obstruction from the pipes. Building standards specify locations for clean outs, although these specified locations have varied over the years, with older homes typically having fewer cleanouts.



Private Water Well: All functional flow OK

All plumbing fixtures in the home exhibited functional flow at the time of the inspection.



Private Water Well: Well Maintenance Record

Not Available

If the well has been properly maintained, a maintenance log should be available. If none is available, the Inspector recommends that you contact a licensed, certified local company with a good reputation and make arrangements to have the well inspected on an annual or bi-annual basis.

The purpose of the well inspection is both to maintain the well equipment in good operating condition and to identify any potential health risks as early as possible.

Limitations

Water Supply and Distribution

WATER SUPPLY PIPES: MOST NOT VISIBLE

Most water distribution pipes were not visible due to wall, floor and ceiling coverings. The Inspector disclaims responsibility for inspection of pipes not directly visible.

Water Supply and Distribution

WATER SUPPLY SHUT-OFFS, NOT OPERATED

Water supply shut-off valves for the toilets and sinks were not operated but were evaluated visually only.

Drain, Waste and Vent (DWV)

MOST DWV NOT VISIBLE

Most drain, waste and vent pipes were not visible due to wall, ceiling and floor coverings. Only visible portions of the system are under the sinks and toilets. One section of visible piping in the utility room along with 3 visible cleanouts.

Private Water Well

DISCLAIMER: STATIC WATER LEVEL/DRAW

In compliance with regulations connected to removal of sanitary caps, inspection of the water well did not include a static water level test or a draw test. These tests can provide important information about well performance. This testing should be performed by a qualified contractor.

Private Water Well

DOCUMENTATION: NONE

No documentation was provided showing the service history of the well including testing of the water for contaminants. You should contact your local health department for suggestions on which contaminants should be tested for and how often they recommend that wells be tested. The well should be serviced by a qualified contractor, the water should be tested, and a permanent, written log should be created in which well service and water testing dates and results can be recorded.

Private Water Well

WATER WELL INSPECTION DISCLAIMER

Potable water for the home was supplied by a private water well located on the property. Inspection of water wells lies beyond the scope of the General Home Inspection, and the inspection company disclaims responsibility for determining its performance or the condition of the electrical or mechanical well equipment.

Although as a courtesy this report may include comments related to well equipment or performance, this should not be construed to mean that the Inspector has performed a full evaluation of the well performance and equipment. You should have this well inspected by a qualified contractor.

Deficiencies

10.4.1 Cleanouts

 Moderate Concern

BROKEN CLEANOUT

A broken clean out cap was observed at the right corner of the garage door in the grass. This can cause the DWV to not operate properly as well as allow rodents and debris to clog the system and create a back up into the house. Recommend a licensed plumbing contract to repair the broken cap as soon as possible.

Recommendation

Contact a qualified professional.



10.5.1 Private Water Well

 Major Concern

WATER QUALITY TESTING

A water quality test was performed and it was determined that Coliform Bacteria was present in the water. This can cause illness such as upset stomachs, fever, and diarrhea. It is recommended that a water quality expert be contacted to further evaluate. Possible solutions would include shocking the well with chlorine or installing a UV filter system for the whole house.

Recommendation

Contact a qualified professional.

11: HVAC

Information

Heat Pump: Heat pump: date of manufacture

The heat pump date of manufacture appeared to be June of 2017.

Heat Pump: Heat pump: serial number

The heat pump serial number was _1706203152__.

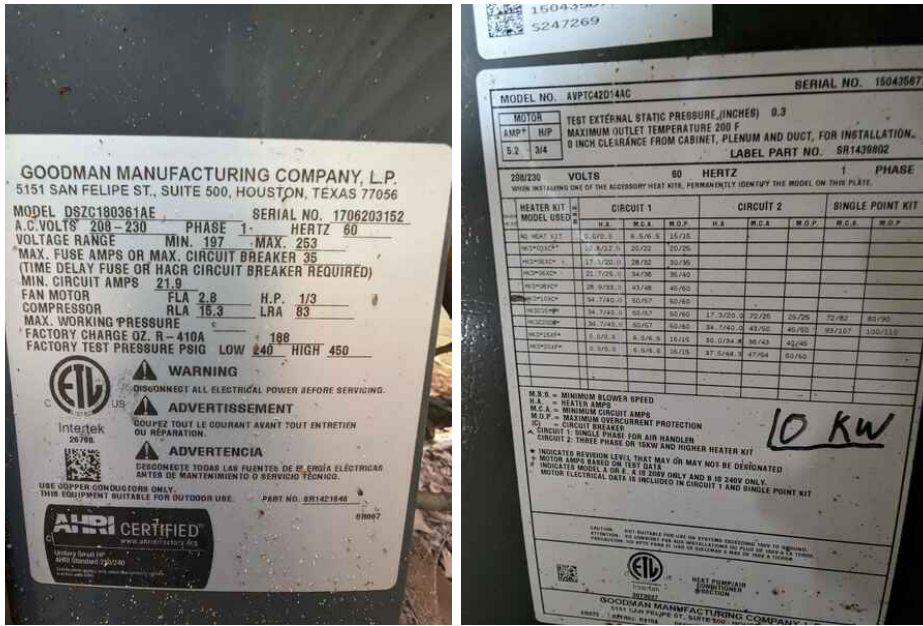
Heat Pump: Heat Pump Brand

Goodman



Heat Pump: Heat pump: data plate photo

The photo shows the data plate information for the heat pump.



Heat Pump: Heat pump installed

The home HVAC system included a heat pump. For home cooling, heat pumps pull heat from the home interior and discharging it to the outside air. For home heating, heat pumps can be reversed, pulling heat from outside air and discharging it inside the home. For home heating, it can pull heat even from cold outside air.

Ducts: Duct Work



Return Air: Filter locations 2

Utility Room, At the top of the Stairs, in the finished basement



Filter in basement



Filter at main air handler



Main Stack Filter at top of stairway

STANDARDS OF PRACTICE

Roof

[FM Global Data Sheets](#)

Kitchen

[Kitchen Checklist](#)